



# CITY OF AVON

## *Building Department*

36080 Chester Road · Avon, OH 44011 · Phone (440) 937-7811 · Fax (440) 937-7824 · [www.cityofavon.com](http://www.cityofavon.com)

## **DECK & PATIO GUIDELINES**

**Zoning Review Fee: \$15.00**

### **Building Permit Fees:**

Base Fee \$40.00

+1% OBBS Fee

Ordinance 1262.08

**\*Check with Homeowners Association prior to submitting plans to the Building Department\***

### **1. Requirements for Deck or Patio Permit:**

- ✓ Submit a complete Zoning Permit Application
  - Pay initial \$15.00 Zoning Review Fee
- ✓ Provide plot drawing with actual size and location of the deck/patio on property
- ✓ Submit complete Building Permit Application

### **2. For Decks:**

- ✓ Provide two (2) copies of the deck construction drawings with the following information:
  - Height of deck
  - Floor joist size and spacing
  - Post depth and spacing (posts must be set at least 36" below grade)
  - Height of handrail and spacing of spindles
  - Stair measurements
  - A cut away drawing from bottom of the footer to the top of the railing

### **3. Applicant will be contacted with approval or rejection of project submittal after the Zoning & Building Reviews are complete**

- ✓ Applicant will either be alerted to pick up permit or submit missing information to the Building Department

Fee: \$15.00  
 Receipt # \_\_\_\_\_  
 By: \_\_\_\_\_



# CITY OF AVON

36080 CHESTER ROAD • AVON, OHIO 44011-1099 • (440) 937-7800 • FAX (440) 937-7824

Application for Zoning Permit ~ ZONING PERMIT PLAN REVIEW NUMBER \_\_\_\_\_

( ) Residential ( ) Commercial ( ) Industrial ( ) Special Use ( ) Variance

PROJECT DESCRIPTION / <i>The undersigned hereby applies for a permit to perform the following work:</i>		
Total Square Footage (house /garage /other)	Construction Type:	Use Group:
Total Estimate Cost \$	(Note: This estimate will not affect cost of permit)	

PROPERTY INFORMATION / JOB SITE	
Address:	
Permanent Parcel Number:	Zoning Classification:
Development Name, if applicable:	

OWNER INFORMATION	CONTRACTOR INFORMATION
Name:	Name:
Address:	Address:
City, State/ Zip Code:	City, State/ Zip Code:
Email:	Email:
Phone:	Phone:

Signature of Applicant/Agent: \_\_\_\_\_ Date: \_\_\_\_\_

The above application for Zoning Permit has been reviewed for compliance with ACO Chapter 12, Planning & Zoning Codes

By \_\_\_\_\_ Date \_\_\_\_\_  
 Rick Schneider, Zoning Enforcement Officer

and was: ( ) Approved ( ) Denied ( ) Referred to Zoning Board of Appeals ( ) Other

ACO 1226.04 This Zoning Permit expires on \_\_\_\_\_ unless construction begun or an extension has been granted by the Zoning Enforcement Officer.

Description/Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



# CITY OF AVON

36080 CHESTER ROAD • AVON, OHIO 44011-1099 • (440) 937-7800 • FAX (440) 937-7824

## Application for Building Permit ~ PERMIT PLAN REVIEW NUMBER \_\_\_\_\_

( ) Residential ( ) Commercial ( ) Industrial

PROJECT DESCRIPTION / <i>The undersigned hereby applies for a permit to perform the following work:</i>						
<i>Total Square Footage</i>	<i>House/Bldg</i>	<i>Finished Basement</i>	<i>Garage</i>	<i>Other</i>	<i>Construction Type:</i>	<i>Use Group:</i>
<i>Total Estimate Cost \$ _____ (Note: This estimate will not affect cost of permit)</i>						

PROPERTY INFORMATION / JOB SITE	
<i>Address:</i> _____	
<i>Permanent Parcel Number:</i> _____	<i>Zoning Classification:</i> _____
<i>Development Name, if applicable:</i> _____	

OWNER INFORMATION	CONTRACTOR INFORMATION
<i>Name:</i> _____	<i>Name:</i> _____
<i>Address:</i> _____	<i>Address:</i> _____
<i>City, State/ Zip Code:</i> _____	<i>City, State/ Zip Code:</i> _____
<i>Email:</i> _____	<i>Email:</i> _____
<i>Phone:</i> _____	<i>Phone:</i> _____

*I hereby agree to the conditions of this Application for Building Permit and to comply with all Ordinances of the City of Avon, all Ordinance, and the Law of the State of Ohio, relating to work to be done there under.*

Signature of Applicant/Agent: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Fee

Permit Fee \$ \_\_\_\_\_

Occupancy Fee \$ \_\_\_\_\_ Total Permit Fee \$ \_\_\_\_\_

OBBS 1% / OBBS 3% \$ \_\_\_\_\_

Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

City of Avon Building Official

**Avon, Ohio Code of Ordinances**

**1262.08 ACCESSORY USE REGULATIONS.**

(c) Minimum Yard Requirements for Accessory Structures. All accessory structures, other than accessory buildings regulated in division (a) and (b) of this section shall be located as set forth in Schedule 1262.08(c), provided that such accessory structure complies with all other accessory use regulations set forth in this section.

Schedule 1262.08(c)

**MINIMUM YARD REQUIREMENTS FOR ACCESSORY STRUCTURES**

Use	Yard in Which Structure Is Permitted	Setback from Lot Line:		
		Side	Rear	Front
(1) Unenclosed entrance, deck or patio <sup>(a)</sup>	Front, Side, Rear	5 feet	5 feet	50 feet
(2) Supplemental paved area for parking or outdoor storage of vehicles <sup>(b)</sup>	Front, Side, Rear	5 feet <sup>(d)</sup>	5 feet	20 feet <sup>(g)</sup>
(3) Driveway <sup>(c)</sup> , sidewalk	Front, Side, Rear	5 feet	5 feet	0 feet
(4) Swimming pools	Side, Rear	10 feet	10 feet	
(5) Basketball hoops (poles/backboards)	Front, Side, Rear	0 feet	0 feet	12 <sup>(e)</sup> feet
(6) Outdoor recreational equipment	Side, Rear	10 feet	10 feet	
(7) Ice rinks	Side, Rear	10 feet	10 feet	
(8) Fences, walls	Front, Side, Rear	0 feet	0 feet	0 feet

Notes to Schedule 1262.08(c).

(a) Including but not limited to, stairs, ramps, platforms, landings, porches and patios, not extending above the first floor. Any entrance feature designed specifically to aid and assist the handicapped, as defined in Chapter 1222, shall be excluded from the requirements of this Section.

(b) See also Section 1292.19.

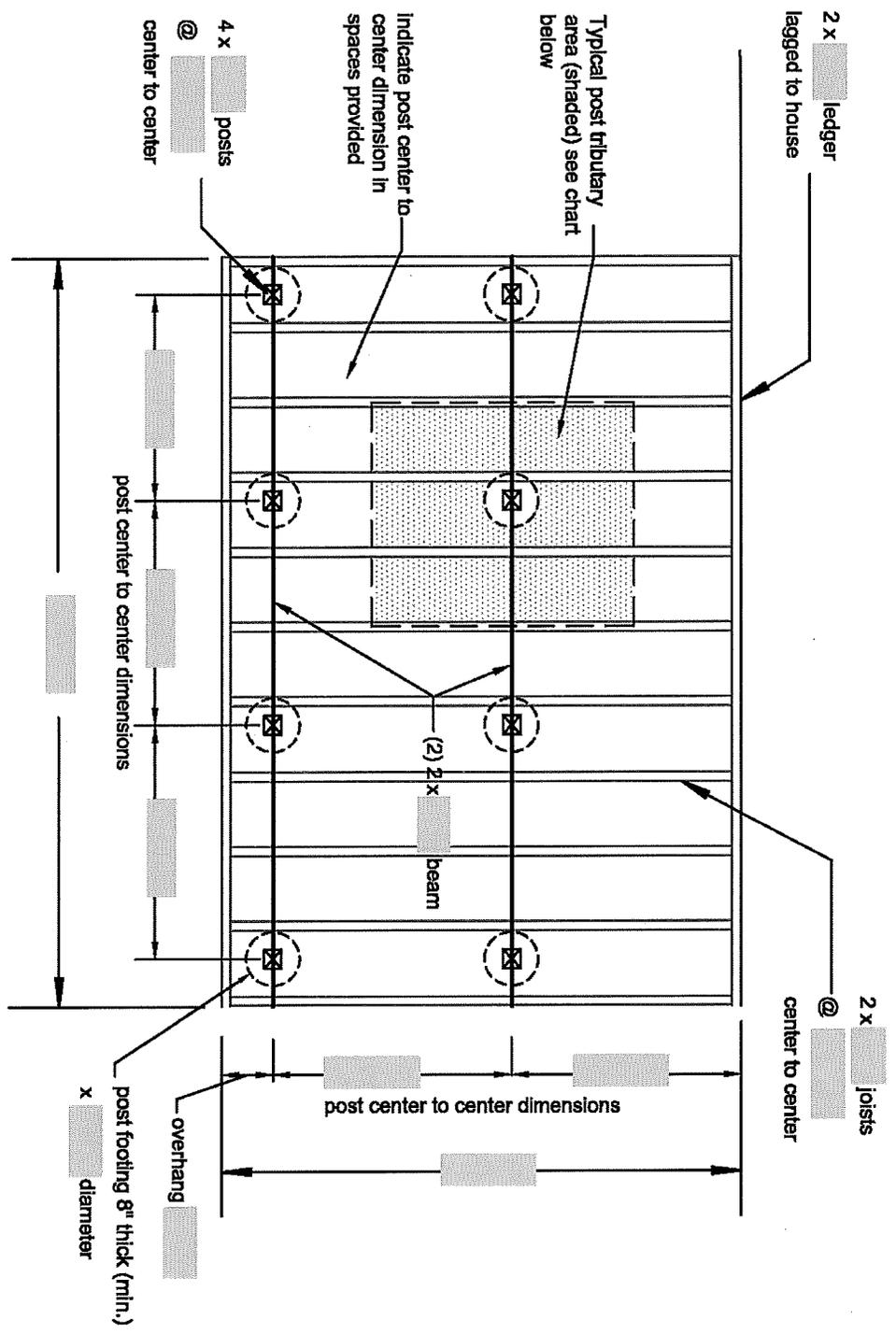
(c) In cases of side-load garages, the setback from the adjoining property line facing the garage shall be two feet.

(d) Setback from adjoining property line in the area between the front lot line and the building line shall be two feet.

(e) Except for basketball hoops, poles and backboards as set forth in Subsection (5).

(f) Or half the distance between the legally established front yard building line and the right-of-way, whichever is greater.

(g) Ten feet for houses set back less than 40 feet from right-of-way.



**TYPICAL DECK PLAN**

Minimum Tributary Area	Post Footing Size	Footing Diameter
14	8"	8"
22	10"	10"
31.6	12"	12"
42.8	14"	14"
56	16"	16"
70.8	18"	18"

NOTE: Tributary Area = load bearing area attributed to each post.  
 1/2 distance between posts or dwelling each direction surrounding post - see shaded area above.

**SUBMITTER - You may either:**

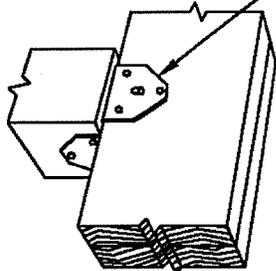
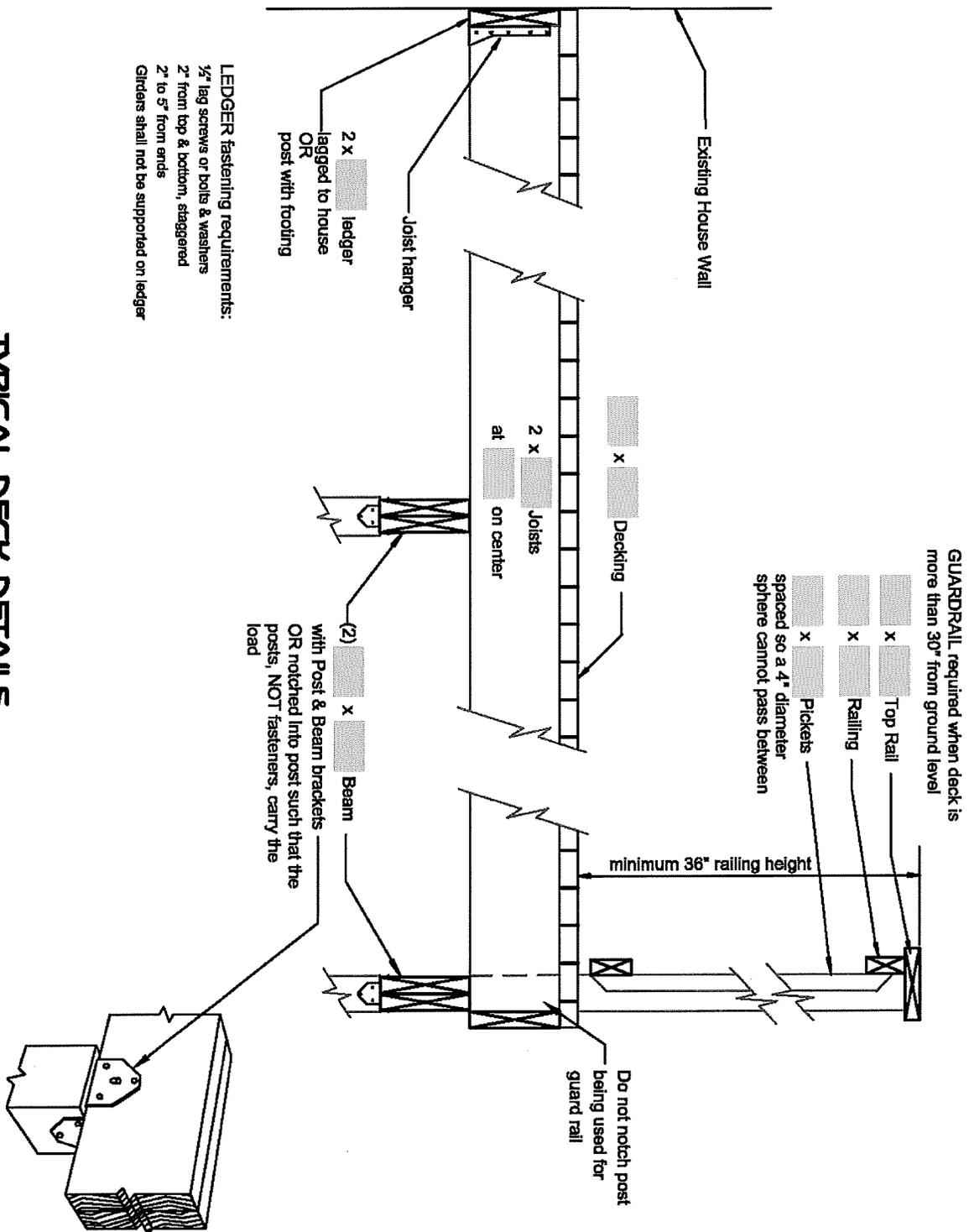
- fill in blanks & dimensions
- modify these sketches as needed
- provide other drawings to describe your project

**TYPICAL DECK CONSTRUCTION**

SUBMITTER:  
 Use this drawing as an example for your application. Please fill in blanks and dimensions and/ or modify these sketches as needed.



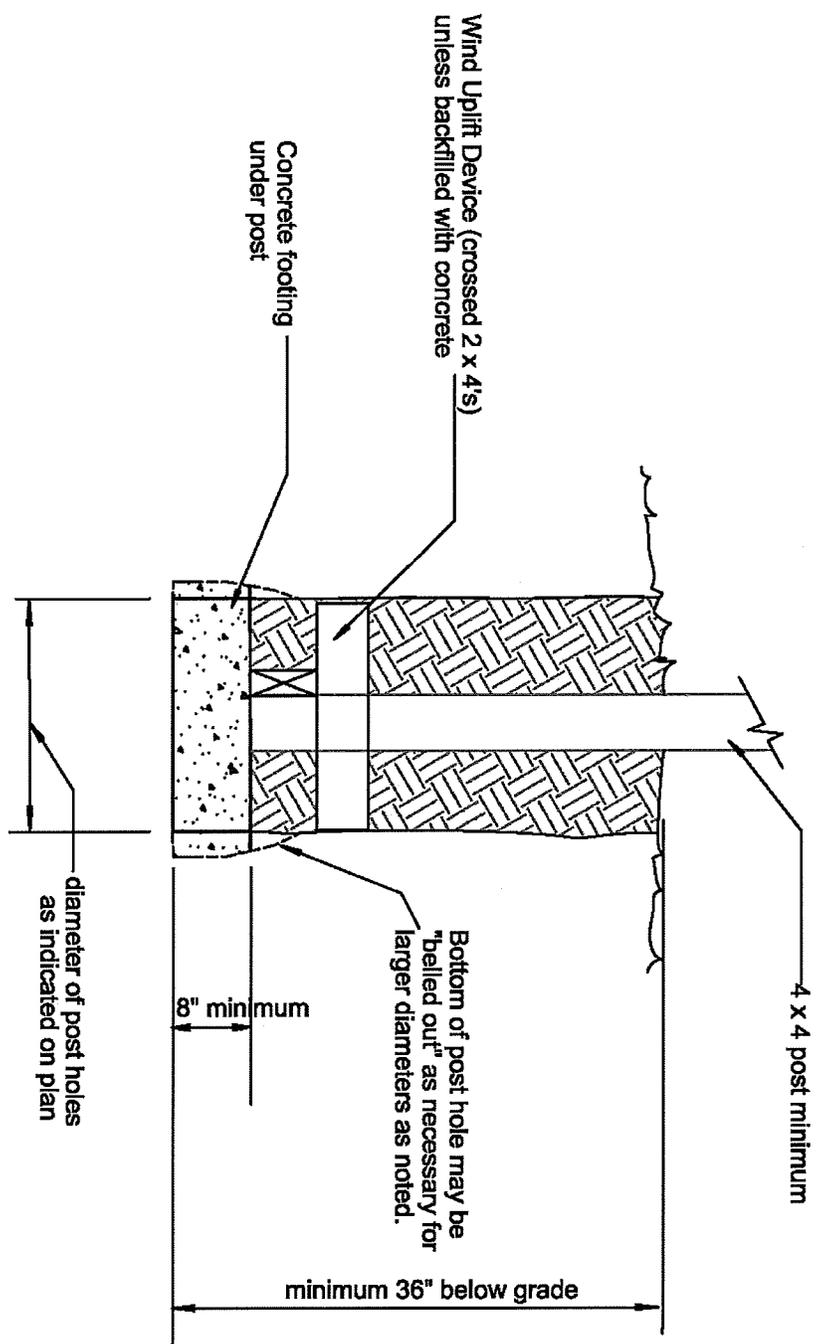
# TYPICAL DECK DETAILS



## TYPICAL DECK CONSTRUCTION

SUBMITTER:  
 Use this drawing as an example for your application.  
 Please fill in blanks and dimensions and/ or modify these sketches as needed.

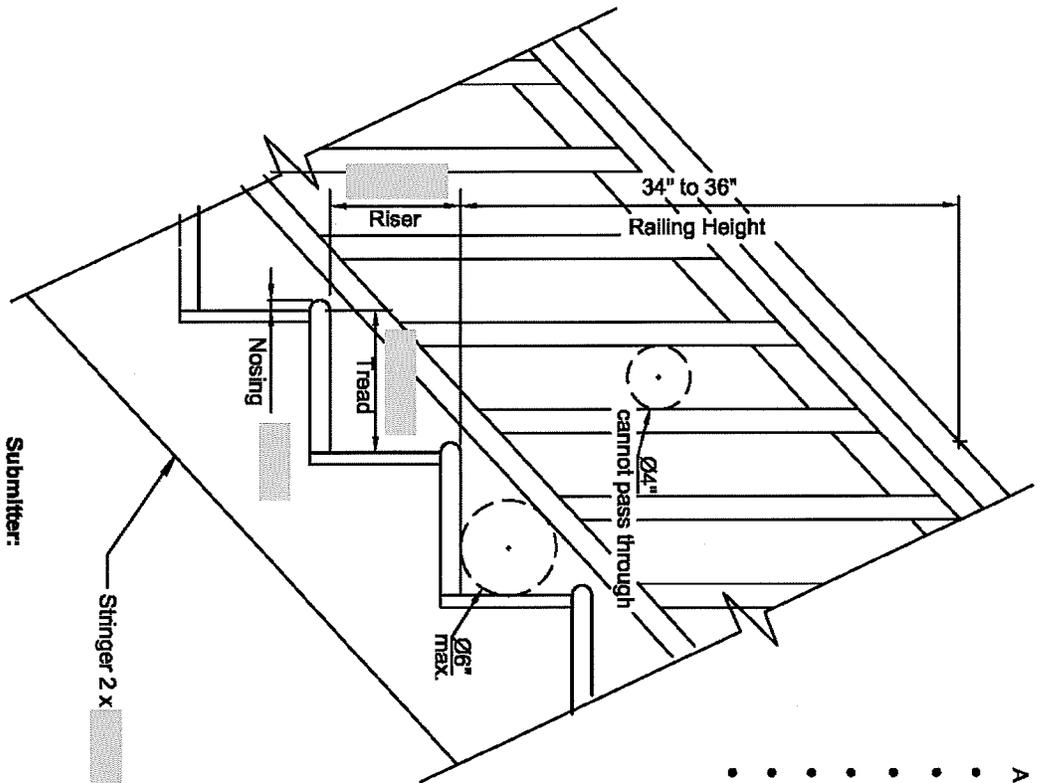
# TYPICAL POST FOOTING DETAIL



## TYPICAL DECK CONSTRUCTION

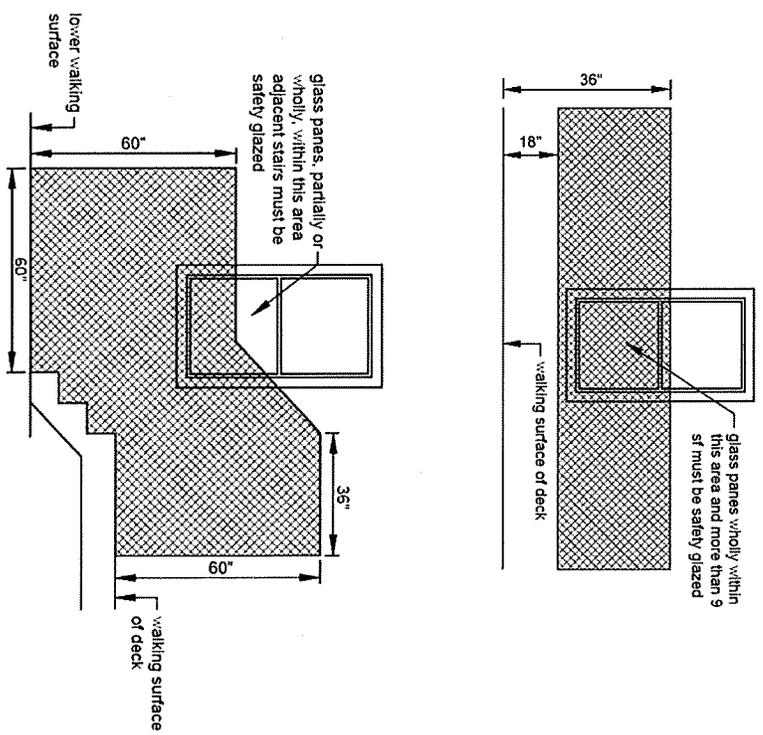
SUBMITTER:  
Use this drawing as an example for your application.

# TYPICAL RESIDENTIAL STAIRS



Submitter:  
 • Fill in the blanks shown

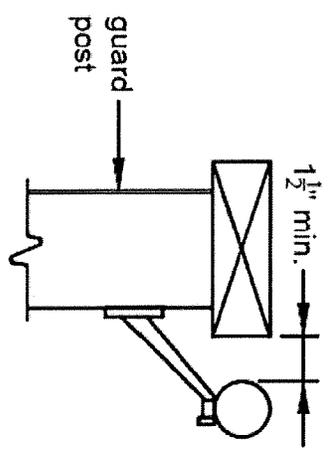
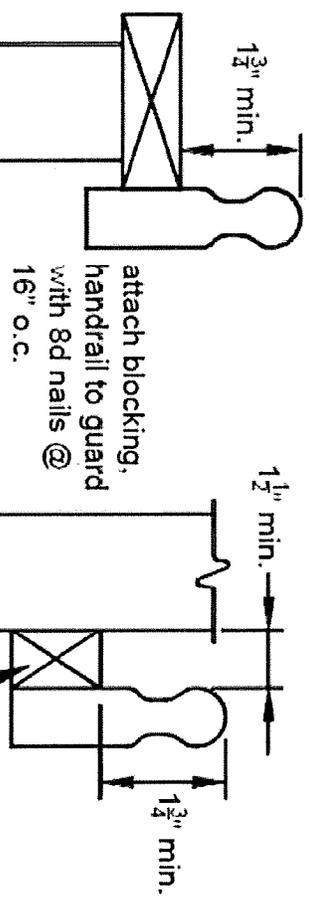
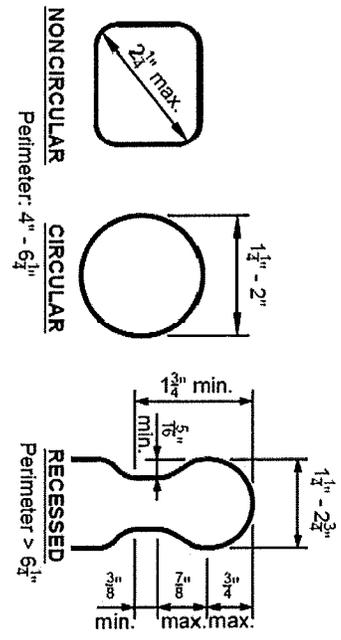
- All Stairs:
- maximum  $8\frac{1}{4}$ " riser height
  - minimum 9" tread depth
  - maximum  $\frac{3}{8}$ " deviation of risers or treads
  - nosing minimum  $\frac{3}{4}$ ", maximum  $1\frac{1}{4}$ "
  - handrail required (where 4 or more risers) 34" - 36" height
  - 36" landing required where 3 or more risers
  - safety glazing required in any window within 36" of stairs or landings (see sketch below)



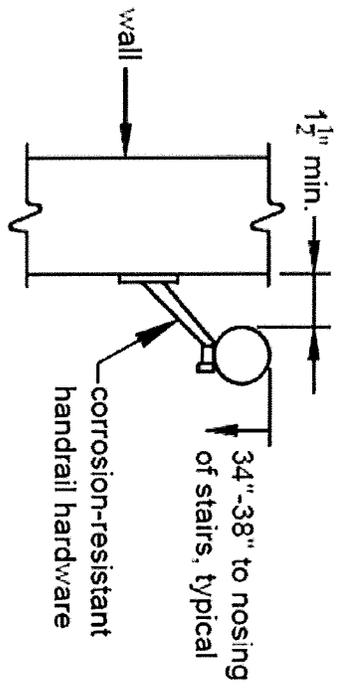
## TYPICAL RESIDENTIAL STAIRS

SUBMITTER:  
 Please fill in blanks and dimensions as applicable





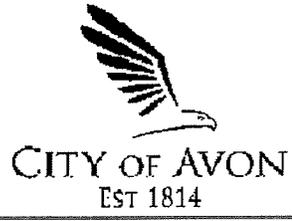
**MOUNTED TO GUARD**



**MOUNTED TO WALL**

**TYPICAL RESIDENTIAL HAND RAILS**

**SUBMITTER:**  
Use this drawing as an example for your application.

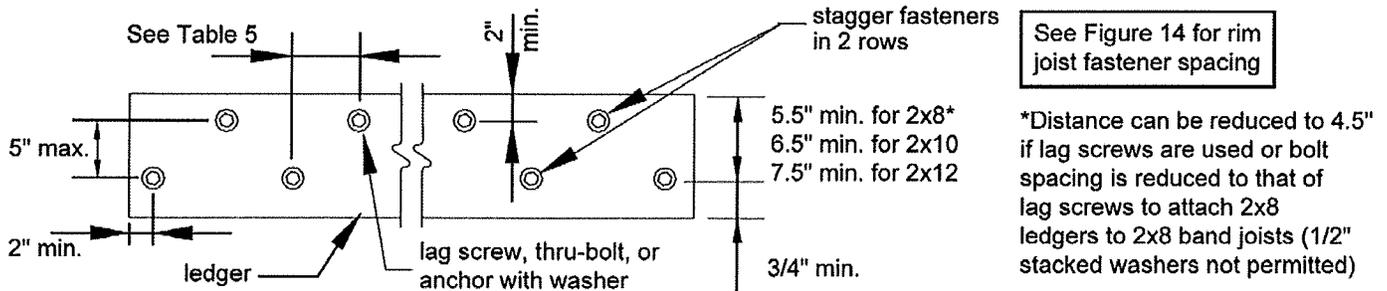


**Placement of lag screws or bolts in deck ledgers**

The lag screws or bolts shall be placed as shown in Figure 19. The lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of

the deck ledger (see Figure 19). Proper installation of lag screws or bolts shall be verified by the authority having jurisdiction.

**Figure 19: Ledger Board Fastener Spacing and Clearances**



Thru-Bolts

Thru-bolts shall have a diameter of 1/2". Pilot holes for thru-bolts shall be 17/32" to 9/16" in diameter. Thru-bolts require washers at the bolt head and nut.

Minimum spacing and embedment length shall be per the manufacturer's recommendations. All anchors must have washers.

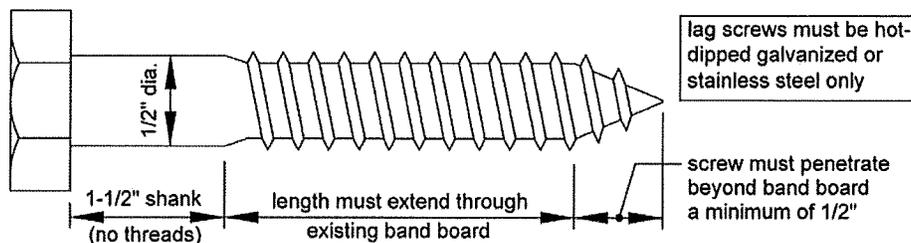
Expansion and Adhesive Anchors

Use approved expansion or adhesive anchors when attaching a ledger board to a concrete or solid masonry wall as shown in Figure 15 or a hollow masonry wall with a grouted cell as shown in Figure 16. Expansion and adhesive anchor bolts shall have a diameter of 1/2".

Lag Screws

Lag screws shall have a diameter of 1/2" (see MINIMUM REQUIREMENTS). Lag screws may be used only when the field conditions conform to those shown in Figure 14. See Figure 20 for lag screw length and shank requirements. All lag screws shall be installed with washers.

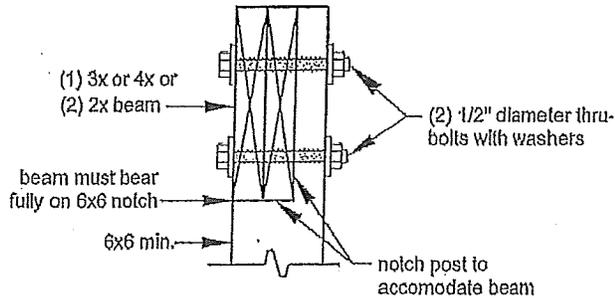
**Figure 20: Lag Screw Requirements**



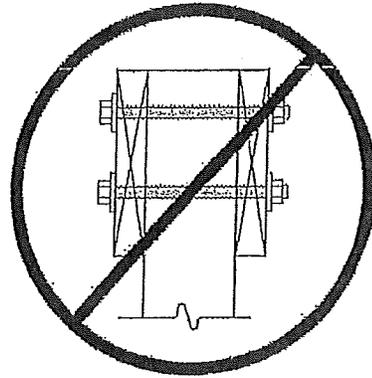
**Lag screw installation requirements:** Each lag screw shall have pilot holes drilled as follows: 1) Drill a 1/2" diameter hole in the ledger board, 2) Drill a 5/16" diameter hole into the band board of the existing house. **DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE BAND BOARD.**

The threaded portion of the lag screw shall be inserted into the pilot hole by turning. **DO NOT DRIVE LAG SCREWS WITH A HAMMER.** Use soap or a wood-compatible lubricant as required to facilitate tightening. Each lag screw shall be thoroughly tightened (snug but not over-tightened to avoid wood damage).

**Figure 8. Post-to-Beam Attachment Requirements**



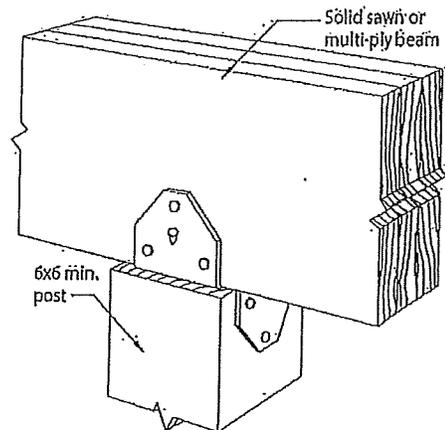
**Figure 9. Prohibited Post-to-Beam Attachment Condition**



### RIM JOIST REQUIREMENTS

Attach a continuous rim joist to the ends of joists as shown in Figure 11. Attach decking to the rim joist as shown in Figure 11. For more decking attachment requirements, see DECKING REQUIREMENTS.

**Figure 10. Alternate Approved Post-to-Beam Post Cap Attachment**



**Figure 11. Rim Joist Connection Details**

